

APPLICATION NO	PA/2017/1583
APPLICANT	North Lincs Property Ltd
DEVELOPMENT	Planning permission to erect a detached house with integral garage
LOCATION	Plot 9, Harris View, Epworth, DN9 1GJ
PARISH	Epworth
WARD	Axholme Central
CASE OFFICER	Scott Jackson
SUMMARY RECOMMENDATION	Grant permission subject to conditions
REASONS FOR REFERENCE TO COMMITTEE	Objection by Epworth Town Council

POLICIES

National Planning Policy Framework: Paragraph 14 states that at the heart of the NPPF is a presumption in favour of sustainable development, which should be seen as a golden thread running through both plan-making and decision taking.

Paragraph 49 of Core Planning Principle 6 states that housing applications should be considered in the context of the presumption in favour of sustainable development.

Paragraph 56 states that the Government attaches great importance to the design of the built environment. Good design is a key aspect of sustainable development, is indivisible from good planning, and should contribute positively to making places better for people.

Paragraph 61 states that planning policies and decisions should address the connections between people and places and the integration of new development in to the natural, built and historic environment.

Paragraph 197 states that in assessing and determining development proposals local planning authorities should apply the presumption in favour of sustainable development.

North Lincolnshire Local Plan: Policies H5, H7, H8, DS1, LC14, T1, T2 and T19 apply.

North Lincolnshire Core Strategy: Policies CS1, CS2, CS5, CS6, CS7 and CS8 apply.

CONSULTATIONS

Highways: No objection, but recommend three conditions.

Environment Agency: No objection.

Isle of Axholme and North Nottinghamshire Water Level Management Board: Comments made in respect of a board-maintained drain within 135 metres of the site and

that consent is required for any works which would increase the flow or volume of water to any watercourse in their district. Recommend a condition that a scheme for the provision, implementation and maintenance of a surface water drainage system is submitted. In addition, comments made that the relevant bodies must be consulted where surface water is directed to the main sewer.

TOWN COUNCIL

Objects on the grounds that, by virtue of the scale and size of the proposal, it is visually oppressive and results in over-development of the site. In addition, objects on the potential impact on neighbouring properties.

PUBLICITY

A site notice has been displayed. No comments have been received.

ASSESSMENT

The application site consists of a vacant housing plot located to the north of a modern housing estate to the western edge of Epworth. The site is located within the defined settlement boundary for Epworth and is bordered by the former railway embankment to the west and by housing to the east and north. A number of modern dwellings have been erected to the south and south-east and on Harris View. Dwellings in the vicinity of the site are detached and predominantly constructed from a red brick with a red pantile roof. Planning permission is being sought to erect a two-and-a-half-storey detached house and integral garage with associated private amenity space to the rear and off-street parking spaces to the front.

The main issues in the determination of this planning application are the principle of development, and impact on the character and appearance of the street scene and upon residential amenity.

Principle

The proposal seeks planning permission for a dwelling on a vacant site within the settlement boundary for Epworth. The plans show that vehicular access can be achieved from Harris View to the south, together with sufficient space to the front of the dwelling for three off-street parking spaces, for an area of pedestrian circulation to the side and for private amenity space of 108 square metres to the rear. The application site is located within the settlement boundary for Epworth which is designated as a market town in the adopted Core Strategy. Policy CS2 states that development should be focused on previously developed land and buildings within the defined development limits of North Lincolnshire's market towns followed by other suitable infill opportunities. This site is one of the plots which was previously granted outline planning permission for 14 dwellings and constitutes a suitable infill plot within a defined market town.

Policy H8 (Housing Design and Housing Mix) applies and states that new residential development will be permitted provided that it incorporates a high standard of layout which maintains, and where possible improves and enhances, the character of the area and protects existing natural and built features, landmarks or views that contribute to the amenity of the area. This site constitutes developable land within the settlement boundary of Epworth; therefore there is a presumption in favour of residential development.

Street scene

The proposal is for the erection of a detached two-and-a-half-storey dwelling with a two-storey projection proposed to the front; this incorporates an integral double garage at ground floor. The dwelling is considered to be proportionate to the scale parameters of the plot and space is proposed to the side (east) of the dwelling for an area of pedestrian circulation. The plans show that the front of the dwelling (i.e. the projecting gable) will be positioned level with the principal elevation of plot 10 to the east with the remainder of the principal elevation positioned 3.8 metres further into the plot; this allows for three off-street parking spaces to be provided to the front. The ridge height of the proposed dwelling is 8.9 metres; this is consistent with the height of the existing dwellings located in the cul-de-sac along Harris View.

The plans show that the dwelling will incorporate differing ridge heights and two projecting gables to the principal elevation; this adds visual interest to the design of the dwelling. Further visual interest is added in the form of a double height projecting bay window to the principal elevation, a canopy above the front door and brick headers and cills to each window opening. The plans also show that both the principal and rear elevations will have a balanced appearance with upper floor windows in vertical alignment with ground floor openings. The plans also show that each of the elevations and the front roof slope will be broken up by window openings; this breaks up the mass of the brick and roof slope.

Details of the proposed external materials of construction have been submitted within the design and access statement; this states that a red Desimpel Corbusier Blend and a Sandtoft Britlock Slate effect tile are proposed. It is considered that the proposed external materials of construction will ensure that the dwelling assimilates with the character and appearance of the street scene.

There is a mix of property types in the wider area and there are examples of larger, modern detached dwellings located in close proximity to the site (along Harris View). In addition planning permission has been granted for modern dwellings on neighbouring plots which are two to two-and-a-half storeys in height. The erection of a modern detached dwelling which is two-and-a-half storeys in height and constructed from modern external finishing materials is considered to be consistent with the scale and appearance of dwellings in this part of Epworth.

Residential amenity

The plans show that two habitable bedroom windows are proposed in the first-floor rear elevation of the dwelling; this results in an outlook towards the rear elevation and garden of Marjon to the north. There is a distance of 5.2 metres to the northern boundary and a further distance of 7.3 metres to the rear elevation of Marjon; this gives an overall separation distance of 12.5 metres to the nearest dwelling to the rear. Given this separation distance and the position of the proposed bedroom windows in the rear elevation, it is accepted that the proposal will result in some loss of privacy to the garden area of Marjon; however, this is considered to be a common situation in residential areas and will not be dissimilar to the existing relationship between plot 10 and Marjon, and plot 10 with 29 Station Road to the north. In addition, it is considered that the separation distance of 12.5 metres is sufficient to prevent loss of amenity to neighbouring properties to the north through overshadowing or having an overbearing impact. A bedroom window is proposed in the second-floor gable of the dwelling; this will have an outlook onto the roof of plot 10 to the east.

The level of parking provision and private amenity space is considered to be commensurate with the scale of the plot. In addition, the dwelling is set in from both side boundaries and from the highway to the front; this ensures that the proposal doesn't result in over-development in terms of its overall built footprint.

The garden to the dwelling will be bordered by the former railway embankment to the west; the proposals show that a retaining wall will be constructed along this boundary and that the development will not encroach any further into this feature than the extent permitted by a previous Planning Inspector's decision.

RECOMMENDATION Grant permission subject to the following conditions:

1.

The development must be begun before the expiration of three years from the date of this permission.

Reason

To comply with section 91 of the Town and Country Planning Act 1990.

2.

The development hereby permitted shall be carried out in accordance with the following approved plans: 598/17 1 of 4, 598/17 2 of 4 and 598/17 4 of 4.

Reason

For the avoidance of doubt and in the interests of proper planning.

3.

The dwelling hereby permitted shall be constructed in accordance with the external construction materials stated in paragraph 1.5 of the design and access statement and once constructed shall thereafter be retained.

Reason

To ensure that the building is in keeping with its surroundings in the interests of visual amenity, in accordance with policy DS1 of the North Lincolnshire Local Plan.

4.

If, during development, any odorous, discoloured or otherwise visually contaminated material is found to be present at the site then no further development shall be carried out until a written method statement detailing how this contamination shall be dealt with has been submitted to and approved in writing by the local planning authority.

Reason

To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other off-site receptors in accordance with policy DS7 of the North Lincolnshire Local Plan.

5.

No loose material shall be placed on any driveway or parking area within 10 metres of the adopted highway unless measures are taken in accordance with details to be submitted to

and approved in writing by the local planning authority to prevent the material from spilling onto the highway. Once agreed and implemented these measures shall be retained.

Reason

In the interests of highway safety and to comply with policy T19 of the North Lincolnshire Local Plan.

6.

The dwelling shall not be occupied until the vehicular access to it and the vehicle parking space(s) serving it have been completed and, once provided, the parking space(s) shall thereafter be so retained.

Reason

In the interests of highway safety and to comply with policies T2 and T19 of the North Lincolnshire Local Plan.

7.

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (Amendment) (No. 2) (England) Order 2008 (or any order revoking and re-enacting that order with or without modification), no development shall take place within any service strip adjacent to any shared surface road, and any planting or landscaping within this service strip shall be of species which shall be agreed in writing with the local planning authority prior to planting.

Reason

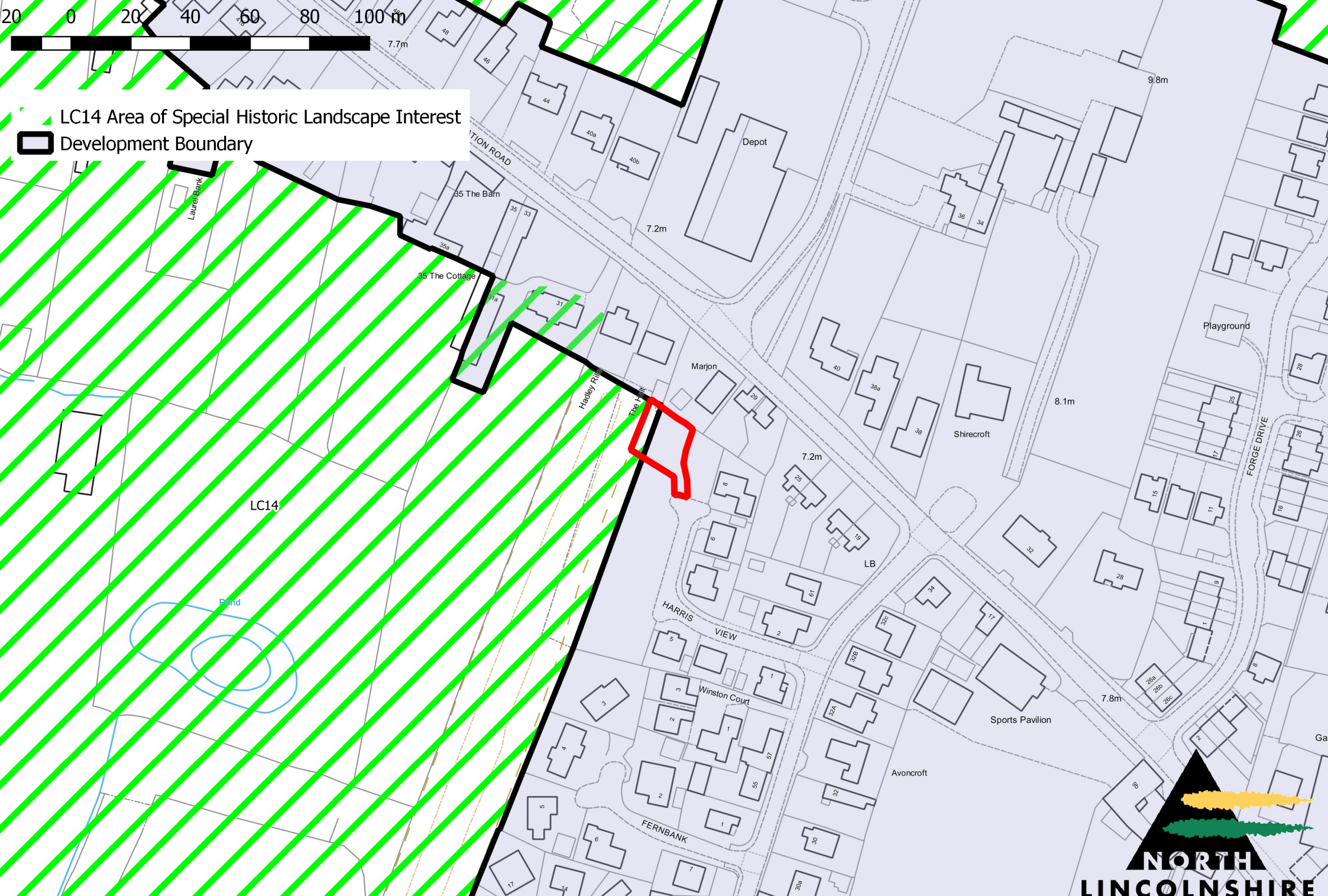
In the interests of highway safety and to comply with policies T2 and T19 of the North Lincolnshire Local Plan.

Informative

In determining this application, the council, as local planning authority, has taken account of the guidance in paragraphs 186 and 187 of the National Planning Policy Framework in order to seek to secure sustainable development that improves the economic, social and environmental conditions of the area.



LC14 Area of Special Historic Landscape Interest
Development Boundary



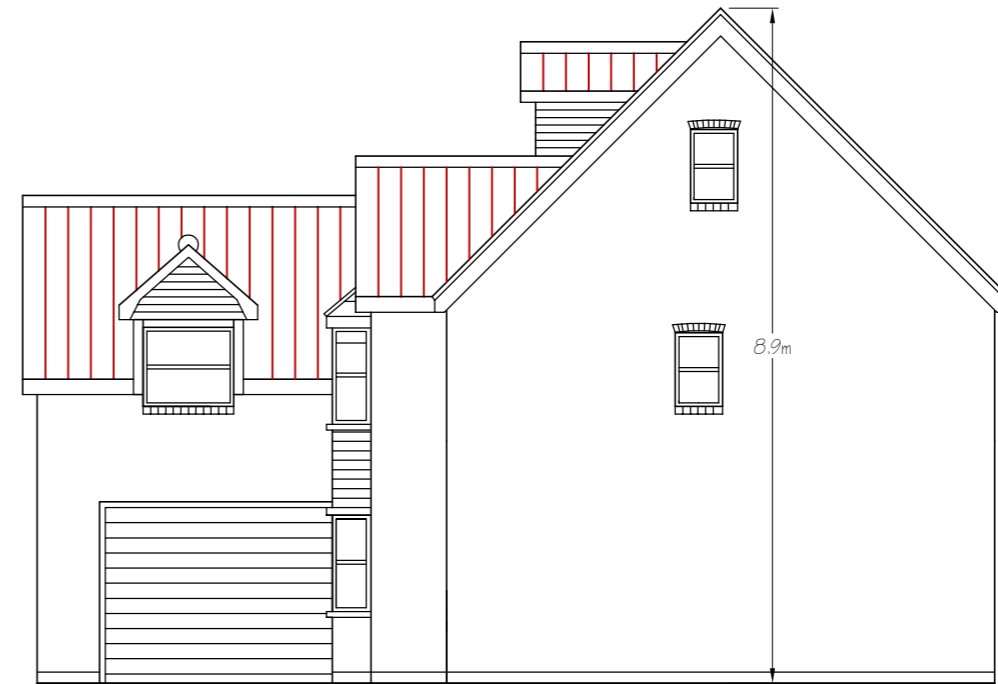
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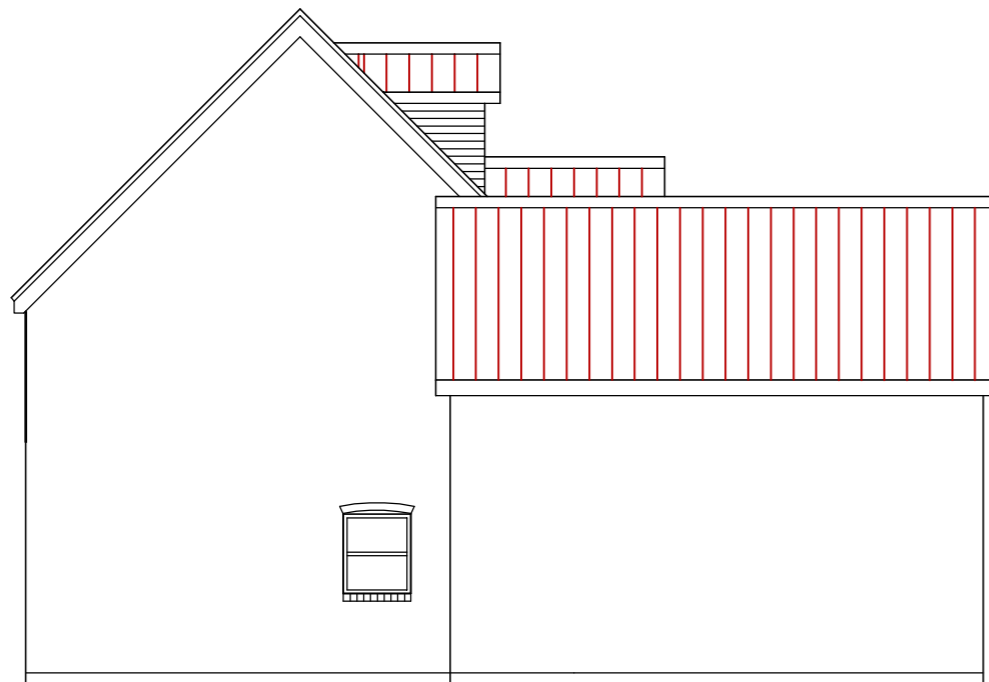




Rear Elevation



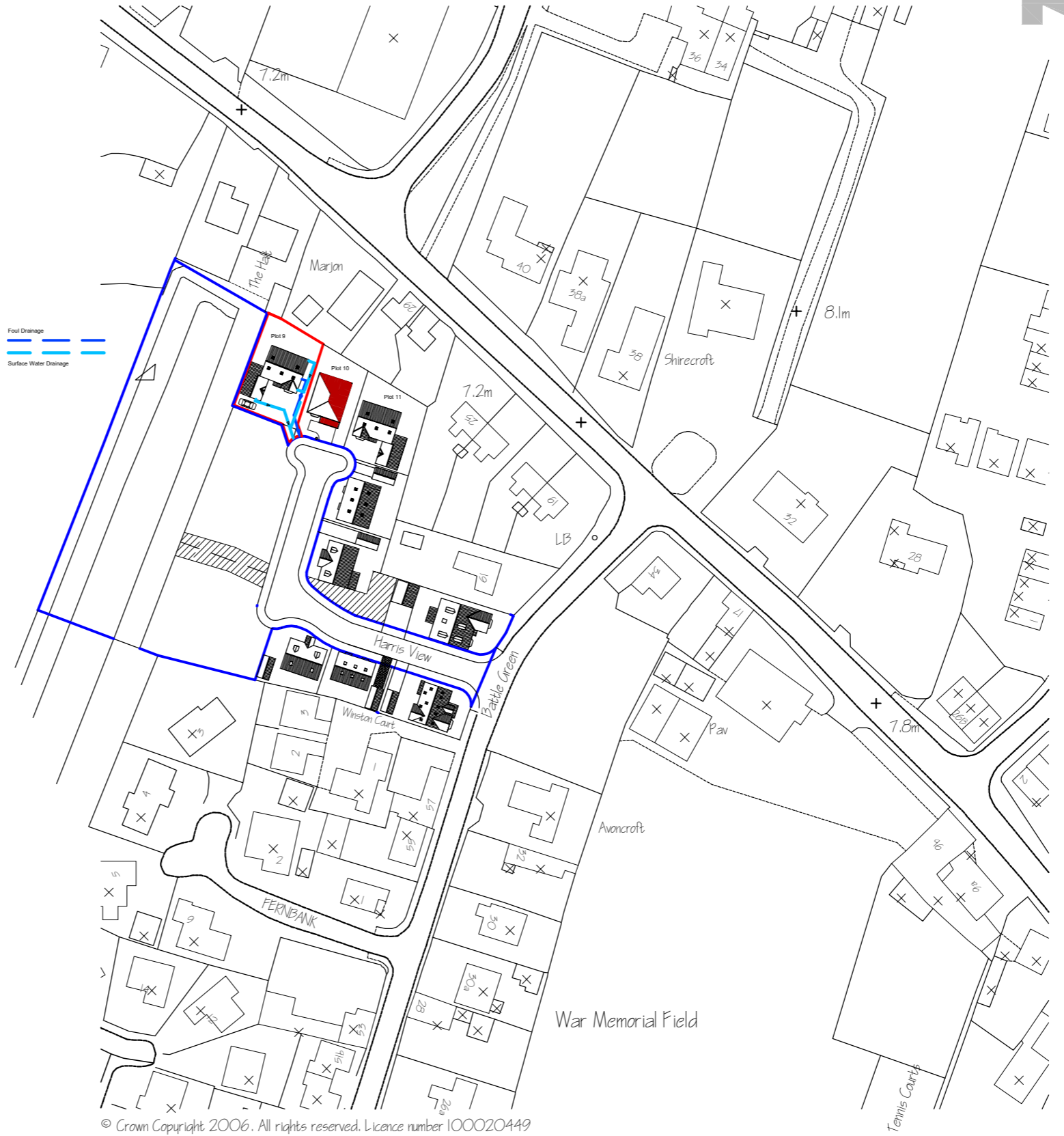
Right Side Elevation



Left Side Elevation



Front Elevation



Howard J Wroot BSc MRICS
Chartered Surveyor
240 Wharf Road, Ealand
Scunthorpe DN17 4JN

Tel 01724 711068
Fax 01724 710174
Mob 07947 226577

Client	North Lincs Property Ltd		
Date	3/10/17	Dwg No	4 of 4
Scale	1:1250	Ref No	598/17

Proposal
Drawing

Plot 9, Harris View
Battle Green, Epworth Doncaster, DN9 1GJ
Location Plan

